



Home Inspection Report

123 Fakesbille

Our Town, ID 83713

Inspected By: Scott Frasure

Inspected On Thu, Oct 3, 2024 at 9:00 AM



UpRightInspections.com

Table of Contents

Report Summary	4
General	16
Site	18
Exterior	22
Roofing	26
Electrical	30
Garage	35
Structure	37
HVAC	44
Plumbing	50
Bathrooms	54
Kitchen	60
Laundry	63
Interior	65
Lawn Sprinkler	68

Thank you for the opportunity to conduct a home inspection of the property listed above. We understand that the function of this report is to assist you in making an informed purchase decision.

The following pages contain the results of the non-invasive, visual examination of the accessible areas of the property reviewing the components in the following basic categories: site, exterior, roofing, structure, electrical, HVAC, plumbing, and interior.

The report is designed to be easy to read and comprehend. It is important to read the entire report to obtain a full understanding of the scope, limitations and exclusions of the inspection. The Standards of Practice established by the National Association of Home Inspectors is followed and the components inspected and their conditions are reported on, with comments, as follows:

Satisfactory,

Marginal,

Repair or Replace,

Further Evaluation.

These conditions are defined at end of the report. Additionally, the items reported on are categorized, in the opinion of the inspector, representing the level of attention needed at the time of the inspection.

 Major/Critical

 Minor/Repair

 Recommended

 Informational

The home inspection is based on the observations made only on the date and time of the inspection, not a prediction of future conditions. To understand more fully what is and is not included in a General Home Inspection, please review the InterNACHI SOP page included as an attachment to this report.

Report Summary

This report summary is not the entire report. The complete report may include additional information of interest or concern to you. It is strongly recommended that you promptly read the complete report.

Major/Critical

Plumbing

When the hose bibb near the rear door was operated, the water dispensed as intended and was leaking out of the adjacent crawl space vent. The valve was immediately turned off to prevent further water damage. Upon inspecting the crawl space, the leak was confirmed with moisture on the vapor barrier, the insulation and the adjacent building material. This appears to be a relatively recent developed condition. Repairing this water line is required before using this hose bibb and it is recommended to ensure all necessary materials are in acceptable condition prior to closing.



Minor/Repair

Site: Patios/Decks

The patio surface had moderate cracking visible. Cracks wider than 1/4-inch should be filled with an appropriate material to help prevent continued deterioration from freezing moisture.



Exterior: Exterior Covering

Some areas of the vinyl siding was observed to have cracking damage. Replacement of these damaged areas is preferred to prevent moisture from penetrating the wall sheathing. Many damaged areas were observed to be repaired. Regular maintenance of these repairs is recommended.

Staining on vinyl siding above the front porch is suspected from the past overgrowth of adjacent tree. It is recommended a qualified contractor make the siding repairs and remove the organic material from the siding at the front of the house.





Exterior: Exterior Trim Material

This vinyl trim piece has disconnected from the attachment point and has exposed the exterior sheathing. Replacement of this trim piece is required to protect the homes building material from damage.



Exterior: Exterior Trim Material

The appropriate trim was not installed around this exhaust vent discharge. All exterior wall penetrations require the appropriate flashing and trim pieces to prevent moisture intrusion. Replacement is recommended.



Exterior: Windows

A window on the north side of the home in the bonus room was observed to have a broken pane. Replacing this window is recommended.



Roofing: Gutters & Downspouts

This gutter over the front entryway was filled with sediment, indicating a lack of proper gutter drainage. Repairing this condition will help shed the water from the roof and away from the foundation.



Electrical: GFCI/AFCI Breakers

This bedroom had an arc-fault circuit interrupter (AFCI) receptacle that did not respond to testing. The Inspector recommends service by a qualified contractor.



HVAC: Heating: Type of Distribution

The register in this upstairs full bathroom was blocked at the time of inspection. Repairing this condition is recommended to help regulate the temperature in this bathroom.



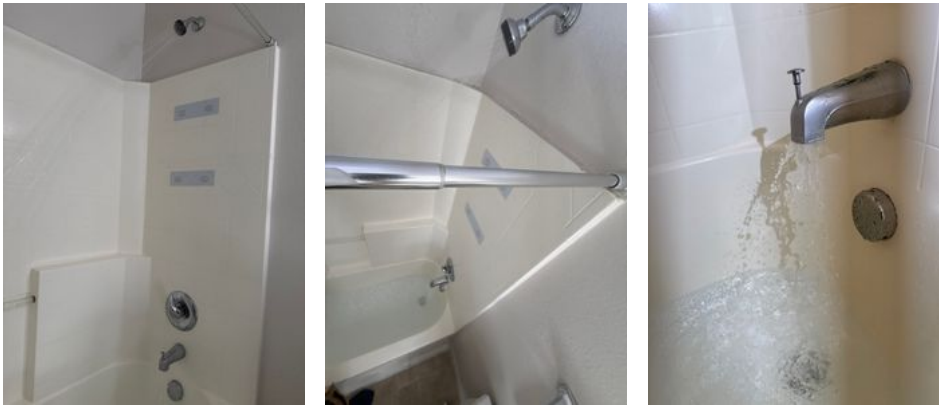
HVAC: Heating: Type of Distribution

A flexible supply duct in the crawlspace appeared to have damage from mice. This will dispense the conditioned air into the crawlspace. It is recommended to acquire an estimate from a qualified HVAC contractor for replacement.



Bathrooms: Bathroom #1: Shower

The diverter valve did not operate correctly (the diverter is the valve that diverts water from the tub faucet to the shower head). Water was diverted to shower head but continued to flow from tub faucet. The Inspector recommends maintenance be performed by a qualified contractor.



Bathrooms: Bathroom #2: Sink(s)

Water was flowing out of the handle on the cold water side in this sink faucet. Repairing this is or replacing faucet is recommended.



Recommended

Site: Site Grading

It is recommended to ensure that the grade slopes away from the home. The home had areas of neutral or negative drainage that will route runoff from precipitation toward the foundation. The ground should slope away from the home a minimum of 1/4-inch per foot for a distance of at least six feet from the foundation.



Site: Driveway

The driveway had areas of pop-out visible. Pop-outs are typically caused by aggregate (stones or gravel) in the concrete that react to moisture by expanding slightly, causing the concrete directly above to detach from the surface. This condition is primarily cosmetic, although in some cases it can lead to further slow deterioration if surface moisture comes into contact with embedded reinforcement steel.

Common cracks were visible in the driveway. Cracks exceeding 1/4 inch should be filled with an appropriate material to avoid continued damage to the driveway surface from freezing moisture.



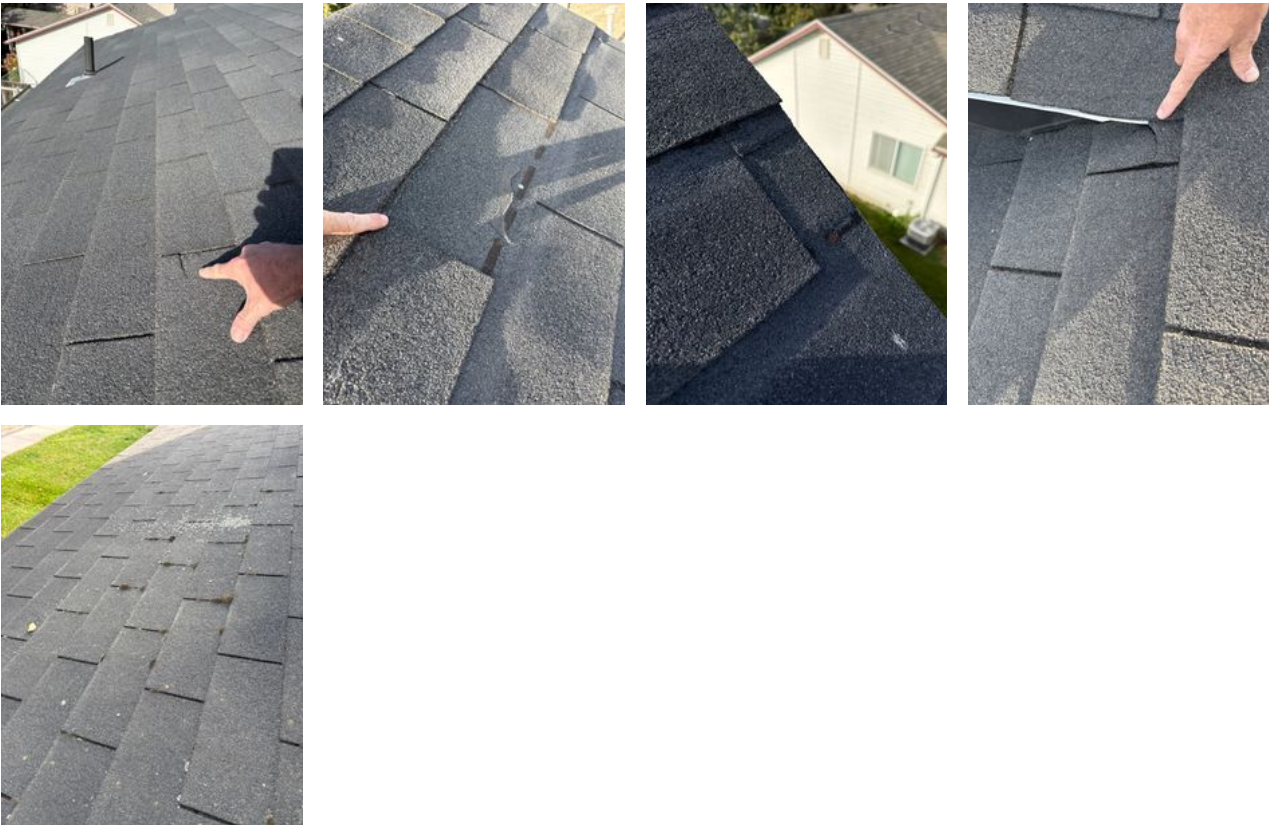
Site: Steps/Stoops

It is recommended to add backfill to support this section of the porch. Backfill is the process of filling in gaps or areas where soil has eroded or settled. By adding backfill, you can improve the stability of the porch, prevent further erosion, and ensure that it remains level and safe for use. This will help protect the porch from potential damage caused by shifting soil.



Roofing: Roof Covering

Minor shingle damage observed, as well as a missing shingle tab. These minor repairs will help preserve the roof covering and prevent water penetration. Minor accumulation of organic growth on roof covering over front porch. It is suspected to be from past overgrowth of adjacent tree. It is recommended a roofing contractor make these minor repairs and remove the organic material from the shingles.



Roofing: Gutters & Downspouts

The downspouts discharged roof drainage next to the foundation. This condition can result in excessively high moisture levels in soil at the foundation and can cause damage related to soil/foundation movement. The Inspector recommends the installation of downspout extensions to discharge roof drainage a minimum of 6 feet from the foundation.

Electrical: Branch Circuit Wiring

Securing the flexible conduit housing the branch circuit wiring, supplying power to the air conditioning condenser is recommended by a qualified contractor.



Electrical

Replacing this broken cover plate in the bonus room is recommended.

A loose receptacle was observed in the bonus room. It is recommended a qualified contractor repair these items.



Garage: Opener Safety Feature

The manual disconnect for the overhead vehicle door was inoperable at the time of the inspection. Correction should be made by a qualified garage door contractor.



Structure: Attic: Insulation

Fiberglass batt insulation was observed to have been displaced in the attic access from the garage. Reattaching this insulation is recommended.

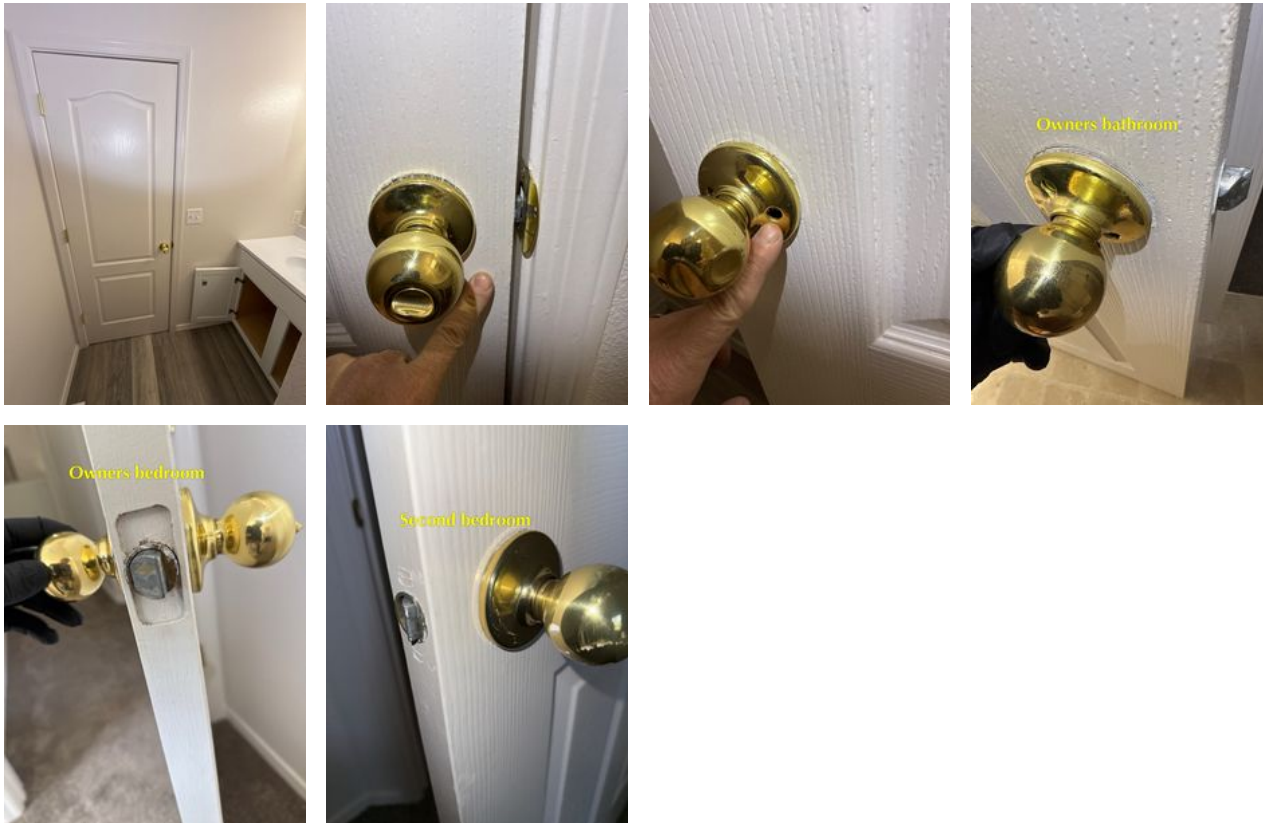


Plumbing: Water Heater

A popping sound was coming from the water heater when it was heating the water. This indicates sediment buildup at the bottom of this water heater. Bubbles escaping the layer of sediment creates the sound. This water heater is over 20 years old and is beyond its expected life. Replacement is recommended to be planned for.

Interior: Interior Door Materials

This bathroom door latch did not lineup with strike plate at the time of inspection. Repairing this and securing the hardware on the identified doors is recommended.



For information regarding the negotiability of any item in this report under the real estate purchase contract, contact your real estate agent or an attorney.

General

General information about the property inspected and the conditions that existed when the inspection was performed.

Overview Photos Of Property



Approximate Age

2003

Age Based On

Listing

Door Faces

North

Furnished

Yes

Occupied

No

Weather

Sunny

Temperature

Cool

Soil Condition

Wet

Utilities On During Inspection

Electric Service, Gas Service, Water Service

People Present

Not Present

Site

The condition of the vegetation, grading, surface drainage and retaining walls that are likely to adversely affect the building is inspected visually as well as adjacent walkways, patios and driveways.

Site Grading

Mostly Level, Sloped Toward Structure

Condition: Marginal

Comment 1

Recommended

It is recommended to ensure that the grade slopes away from the home. The home had areas of neutral or negative drainage that will route runoff from precipitation toward the foundation. The ground should slope away from the home a minimum of 1/4-inch per foot for a distance of at least six feet from the foundation.



Vegetation

Not Growing Against Structure

Condition: Satisfactory



Retaining Walls

Not Present

Driveway

Concrete

Condition: Marginal

123 Fakesbille, Our Town, ID 83713

Inspecting Integrity "The Integrity of the UpRight will guide them" - Proverbs 11:3

Comment 2
Recommended

The driveway had areas of pop-out visible. Pop-outs are typically caused by aggregate (stones or gravel) in the concrete that react to moisture by expanding slightly, causing the concrete directly above to detach from the surface. This condition is primarily cosmetic, although in some cases it can lead to further slow deterioration if surface moisture comes into contact with embedded reinforcement steel.

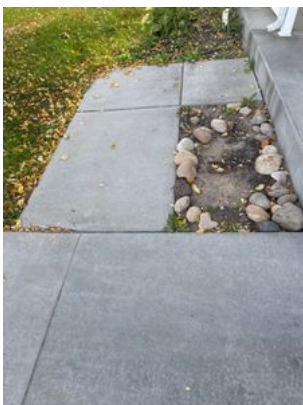
Common cracks were visible in the driveway. Cracks exceeding 1/4 inch should be filled with an appropriate material to avoid continued damage to the driveway surface from freezing moisture.



Walkways

Concrete

Condition: Satisfactory



Steps/Stoops

Concrete

Condition: Satisfactory



**Comment 3
Recommended**

It is recommended to add backfill to support this section of the porch. Backfill is the process of filling in gaps or areas where soil has eroded or settled. By adding backfill, you can improve the stability of the porch, prevent further erosion, and ensure that it remains level and safe for use. This will help protect the porch from potential damage caused by shifting soil.



Patios/Decks

Concrete

Condition: Repair or Replace

Comment 4
Minor/Repair

The patio surface had moderate cracking visible. Cracks wider than 1/4-inch should be filled with an appropriate material to help prevent continued deterioration from freezing moisture.



Exterior

The visible condition of exterior coverings, trim and entrances are inspected with respect to their effect on the condition of the building.

Exterior Covering

Vinyl Siding

Condition: Repair or Replace

Comment 5 Minor/Repair

Some areas of the vinyl siding was observed to have cracking damage. Replacement of these damaged areas is preferred to prevent moisture from penetrating the wall sheathing. Many damaged areas were observed to be repaired. Regular maintenance of these repairs is recommended.

Staining on vinyl siding above the front porch is suspected from the past overgrowth of adjacent tree. It is recommended a qualified contractor make the siding repairs and remove the organic material from the siding at the front of the house.





Comment 6
Informational

A weather resistant barrier (WRB) or "house wrap" was not required by building standards at the time of this homes construction. It is recommended that when this homes exterior covering is replaced, a complete WRB as the underlayment is installed for long term protection.

Exterior Trim Material

Vinyl

Condition: Repair or Replace

Comment 7
Minor/Repair

This vinyl trim piece has disconnected from the attachment point and has exposed the exterior sheathing. Replacement of this trim piece is required to protect the homes building material from damage.



Comment 8
Minor/Repair

The appropriate trim was not installed around this exhaust vent discharge. All exterior wall penetrations require the appropriate flashing and trim pieces to prevent moisture intrusion. Replacement is recommended.



Windows

Vinyl

Condition: Repair or Replace



Comment 9
Minor/Repair

A window on the north side of the home in the bonus room was observed to have a broken pane. Replacing this window is recommended.



Entry Doors

Vinyl, Fiberglass

Condition: Satisfactory

Balconies

Not Present

Railings

Vinyl

Condition: Satisfactory



Roofing

The visible condition of the roof covering, flashings, skylights, chimneys and roof penetrations are inspected. The purpose of the inspection is to determine general condition, NOT to determine life expectancy.

Inspection Method

Walked Roof/Arms Length

Roof Design

Gable

Roof Covering

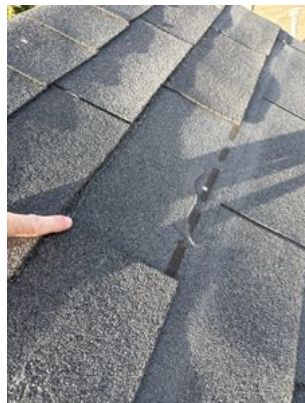
3 Tab Shingle

Condition: Repair or Replace

Comment 10

Recommended

Minor shingle damage observed, as well as a missing shingle tab. These minor repairs will help preserve the roof covering and prevent water penetration. Minor accumulation of organic growth on roof covering over front porch. It is suspected to be from past overgrowth of adjacent tree. It is recommended a roofing contractor make these minor repairs and remove the organic material from the shingles.



Roofing Cont.

Photo Of Each Roofing Type



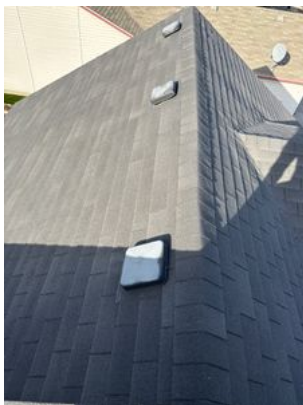
Approximate Roof Age

20

Ventilation Present

Roof, Soffit, Gable Ends

Condition: Satisfactory



Vent Stacks

Plastic

Condition: Satisfactory

Roofing Cont.

Chimney

Metal

Condition: Satisfactory



Sky Lights

Not Present

Flashings

Metal

Condition: Satisfactory

Soffit and Fascia

Aluminum

Condition: Satisfactory



Gutters & Downspouts

Metal

Condition: Repair or Replace

Comment 11

Minor/Repair

This gutter over the front entryway was filled with sediment, indicating a lack of proper gutter drainage. Repairing this condition will help shed the water from the roof and away from the foundation.



Comment 12

Recommended

The downspouts discharged roof drainage next to the foundation. This condition can result in excessively high moisture levels in soil at the foundation and can cause damage related to soil/foundation movement. The Inspector recommends the installation of downspout extensions to discharge roof drainage a minimum of 6 feet from the foundation.

The report is not intended to be conclusive regarding the life span of the roofing system or how long it will remain watertight in the future. Adequate attic ventilation, solar /wind exposure, and organic debris all affect the life expectancy of a roof. The inspection and report are based on visible and apparent conditions at the time of the inspection. Unless rain has fallen just prior to the inspection, it may not be possible to determine if active leaks are occurring. In most homes, not all attic areas are readily accessible for inspections. Conclusions made by the inspector do not constitute a warranty, guaranty, or policy of insurance.

Electrical

The inspector can not inspect hidden wiring or verify if the number of outlets is per the National Electric Code. A representative number of outlets, switches and fixtures are tested for operation.

Type of Service

Underground



Main Disconnect Location

Service Panel



Service Panel Location

Garage



Photo of Panel



Service Panel Manufacturer

Cutler-Hammer

Condition: Satisfactory

Service Line Material

Copper

Condition: Satisfactory

Service Voltage

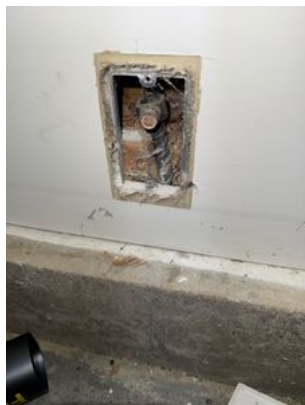
240 volts

Service Amperage

125 amps

Service Panel Ground

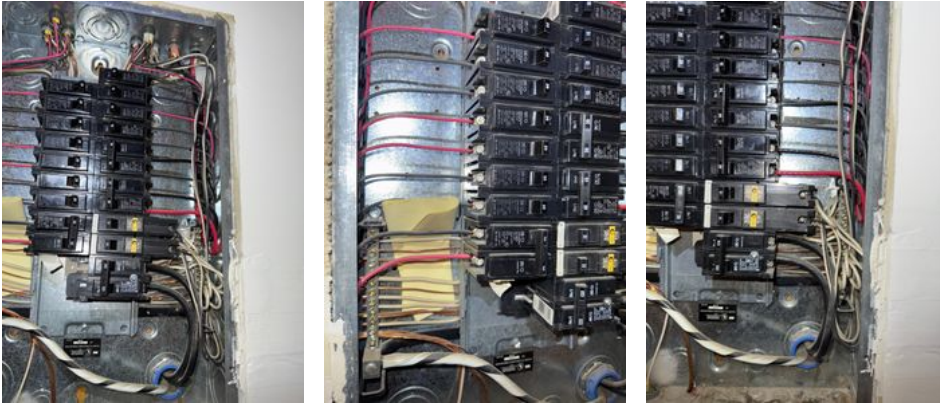
Ufer Ground



Branch Circuit Wiring

Non-Metallic Shielded Copper

Condition: Satisfactory



Comment 13
Recommended

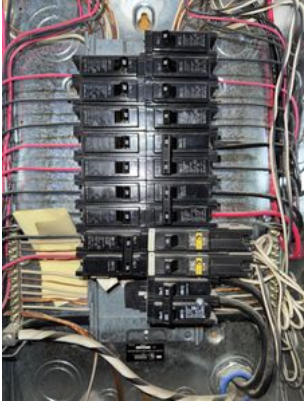
Securing the flexible conduit housing the branch circuit wiring, supplying power to the air conditioning condenser is recommended by a qualified contractor.



Overcurrent Protection

Breakers

Condition: Satisfactory



GFCI/AFCI Breakers

Yes

Condition: Repair or Replace

**Comment 14
Minor/Repair**

This bedroom had an arc-fault circuit interrupter (AFCI) receptacle that did not respond to testing. The Inspector recommends service by a qualified contractor.



Smoke Detectors

Hard Wired Interconnected

Condition: Satisfactory

Carbon Monoxide Detector

Individual Units

Electrical Comments

Comment 15

Recommended

Replacing this broken cover plate in the bonus room is recommended.

A loose receptacle was observed in the bonus room. It is recommended a qualified contractor repair these items.



Garage

Garage Type

Attached

Condition: Satisfactory



Overview Photos Of Garage



Garage Size

1.5 Car

Door Opener

Chain Drive

Condition: Satisfactory

Opener Safety Feature

Light Beam, Force Sensitive

Condition: Repair or Replace

Comment 16
Recommended

The manual disconnect for the overhead vehicle door was inoperable at the time of the inspection. Correction should be made by a qualified garage door contractor.



The visible condition of the structural components is inspected. The determination of adequacy of structural components is beyond the scope of a home inspection.

Foundation Types

Crawl Space

Foundation Material

Poured Concrete

Condition: Satisfactory



Comment 17
Informational

Typical shrinkage crack visible in the foundation are not a structural concern. Shrinkage is a natural part of the curing process of concrete and surface cracking is common.



Signs of Water Penetration

Efflorescence

Condition: Satisfactory



Prior Waterproofing

Not Present

Floor Structure

Engineered I-Joist

Condition: Satisfactory



Subflooring

Oriented Strand Board

Condition: Satisfactory

Wall Structure

Wood Frame

Condition: Satisfactory

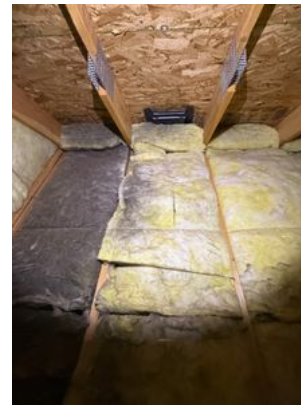


Attic

Attic Entry

Garage, Bedroom

Overview Photos Of Attic





Roof Framing Type

Wood Trusses

Condition: Satisfactory



Roof Deck Material

Oriented Strand Board

Condition: Satisfactory

Vent Risers

PVC

Condition: Satisfactory

Insulation

Blown In Fiberglass, Fiberglass Batts

Condition: Repair or Replace



Comment 18

Recommended

Fiberglass batt insulation was observed to have been displaced in the attic access from the garage. Reattaching this insulation is recommended.



Crawlspace

If the clearance from the ground to the bottom of the joists is less than 36", or other adverse conditions exist, the inspector is not obligated to enter the crawl space.

Inspection Method

Inside

Overview Photos Of Crawlspace



Vapor Retarder

Installed

Condition: Satisfactory

Underfloor Insulation

Fiberglass Batts

Condition: Satisfactory

Ventilation Present

Yes

Condition: Satisfactory



Comment 19
Informational

Some of the homes crawlspace vents were closed at the time of the inspection. Good practice to prevent high humidity levels in the crawlspace is to open these in the summertime and close them in the winter time.

Moisture Condition

Dry

Condition: Satisfactory

HVAC System Type

Central Split System

Thermostat

Analog

Condition: Satisfactory

Photo of Thermostat



Thermostat Location

Living Room

Heating

The heating system is inspected visually and operated by normal controls to determine general condition NOT life expectancy. The capacity or adequacy of the heating system is beyond the scope of a home inspection. A licensed HVAC contractor should be consulted if in question.

Location

Garage

Type of Equipment

Forced Air

Condition: Satisfactory

Photo of Furnace Operating

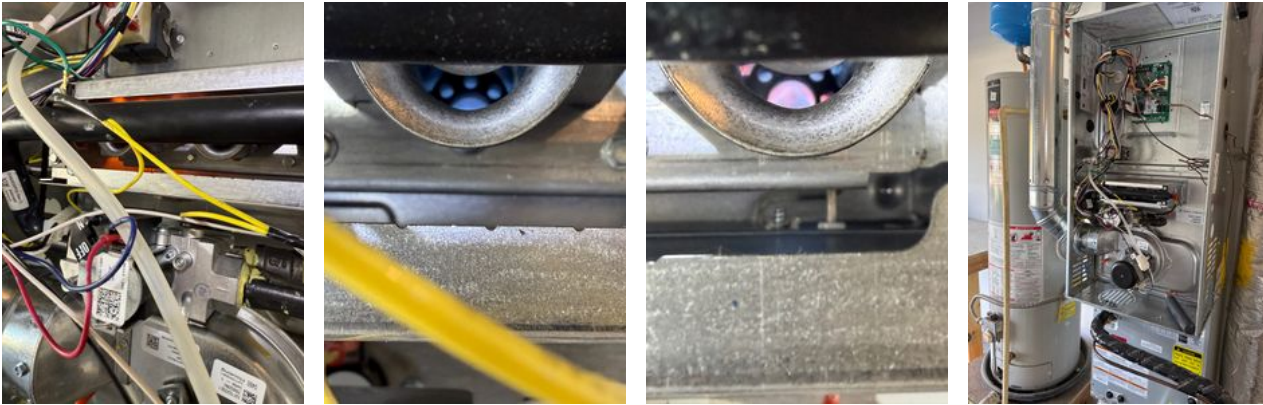


Photo Of Furnace Dataplate



Manufacturer

Trane

Heating Fuel

Gas

Condition: Satisfactory

Input BTUs

60,000

Output BTUs

48,700

Approximate Age

2024

Filter Type

Not accessible

Condition: Satisfactory

**Comment 20
Informational**

The access door was not removable at the time of inspection. It is recommended to follow up with the installer to inquire about servicing the furnace filter.



Output Temperature

90°

Type of Distribution

Flexible Ducting

Condition: Satisfactory

**Comment 21
Minor/Repair**

The register in this upstairs full bathroom was blocked at the time of inspection. Repairing this condition is recommended to help regulate the temperature in this bathroom.



Comment 22
Minor/Repair

A flexible supply duct in the crawlspace appeared to have damage from mice. This will dispense the conditioned air into the crawlspace. It is recommended to acquire an estimate from a qualified HVAC contractor for replacement.



Furnaces over 10 years old should be checked, cleaned and serviced yearly by a licensed contractor.

Cooling

The cooling system is inspected by operation of the equipment by normal controls to determine general condition NOT life expectancy. The capacity or adequacy of cooling system is beyond the scope of a home inspection. A licensed HVAC contractor should be consulted if in question.

Energy Source

Electric

Type of Equipment

Split System

Condition: Satisfactory

Photo of Unit Operating



Photo of Condenser Dataplate



Condenser Make

Trane

Condenser Size

30,000 BTU (2.5 Tons)

Condenser Approximate Age

2024

Expansion Coil Make

Trane

Expansion Coil Size

30,000 BTU (2.5 Tons)

Expansion Coil Approximate Age

2024

Condensate Drainage

To Waste Drain

Condition: Satisfactory

AC Supply Air Temp

45°

AC Return Air Temp

60°

AC Temperature Drop

15°

Photo Of Expansion Coil Dataplate



Air conditioners over 10 years old and heat pumps over 5 years old should be checked, cleaned and serviced yearly by a licensed contractor.

Plumbing

The plumbing system is inspected visually and by operating a representative number of fixtures and drains. Private water and waste systems are beyond the scope of a home inspection.

Water Service

Public

Supply Pipe Material

PEX

Condition: Satisfactory

Location of Main Water Shutoff

Crawlspace



Sewer System

Public



Plumbing Cont.

Waste Pipe Material

ABS Plastic

Condition: Satisfactory



Sump Pump

Not Present

Location of Fuel Shutoff

At Meter



Plumbing Comments

Comment 23 Major/Critical

When the hose bibb near the rear door was operated, the water dispensed as intended and was leaking out of the adjacent crawl space vent. The valve was immediately turned off to prevent further water damage. Upon inspecting the crawl space,

the leak was confirmed with moisture on the vapor barrier, the insulation and the adjacent building material. This appears to be a relatively recent developed condition. Repairing this water line is required before using this hose bibb and it is recommended to ensure all necessary materials are in acceptable condition prior to closing.



Water Heater

Photo of Water Heater



Manufacturer

Bradford White

Fuel

Natural Gas

Capacity

40 gal

Approximate Age

2003

Temp & Pressure Relief Valve

Present With Blow Off Leg

Condition: Satisfactory

Fuel Disconnect

Within Sight of Equipment

Water Heater Comments

Comment 24

Recommended

A popping sound was coming from the water heater when it was heating the water. This indicates sediment buildup at the bottom of this water heater. Bubbles escaping the layer of sediment creates the sound. This water heater is over 20 years old and is beyond its expected life. Replacement is recommended to be planned for.

Bathroom #1

Location

Owners

Overview Photos of Bathroom



Bath Tub

Recessed

Condition: Satisfactory



Shower

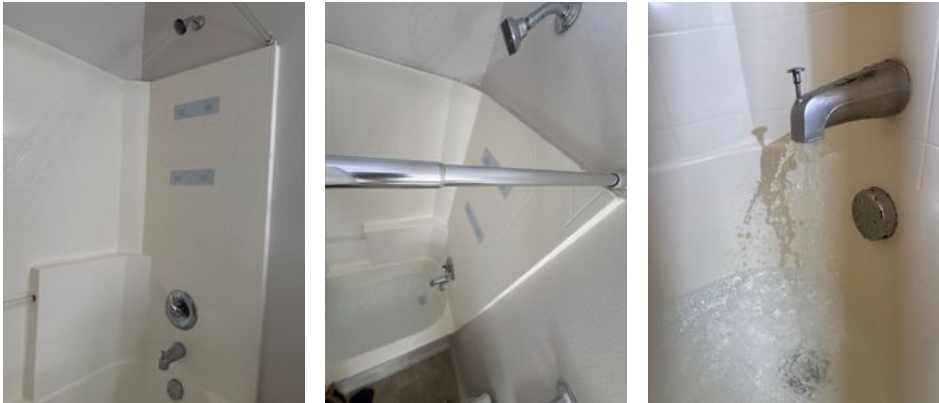
In Tub

Condition: Repair or Replace

Comment 25

Minor/Repair

The diverter valve did not operate correctly (the diverter is the valve that diverts water from the tub faucet to the shower head). Water was diverted to shower head but continued to flow from tub faucet. The Inspector recommends maintenance be performed by a qualified contractor.



Sink(s)

Single Vanity

Condition: Satisfactory

Toilet

Standard Tank

Condition: Satisfactory

Bidet

Not Present

Shower Walls

Fiberglass

Condition: Satisfactory

Tub Surround

Fiberglass

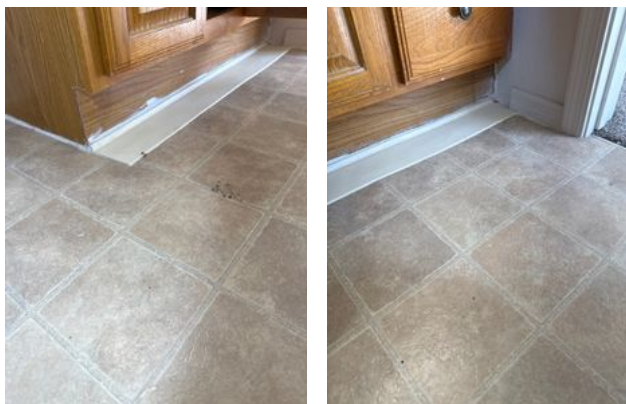
Condition: Satisfactory

Bathrooms Cont.

Floor

Vinyl

Condition: Marginal



Ventilation Type

Ventilator

Condition: Satisfactory

GFCI Protection

Outlets

Condition: Satisfactory

Bathroom #2

Location

Up Full

Overview Photos of Bathroom



Bath Tub

Recessed

Condition: Satisfactory



Shower

In Tub

Condition: Satisfactory

Sink(s)

Single Vanity

Condition: Repair or Replace

Comment 26

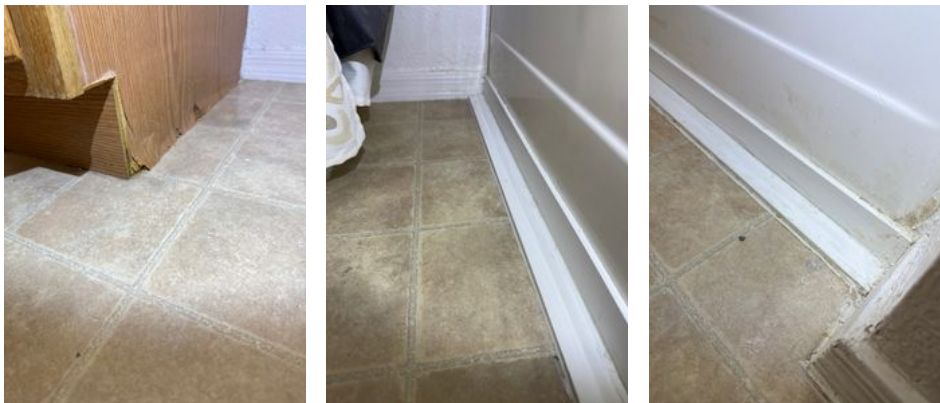
Minor/Repair

Water was flowing out of the handle on the cold water side in this sink faucet. Repairing this is or replacing faucet is recommended.



Comment 27
Informational

Signs of past presence of moisture on this bathroom floor is evidence by swollen cabinet and installation of additional trim around the bathtub. No current moisture was observed on moisture meter at time of inspection.



Toilet

Standard Tank

Condition: Satisfactory

Bidet

Not Present

Shower Walls

Fiberglass

Condition: Satisfactory

Tub Surround

Fiberglass

Condition: Satisfactory

Floor

Vinyl

Condition: Marginal

Ventilation Type

Ventilator

Condition: Satisfactory

GFCI Protection

Outlets

Condition: Further Evaluation Required

Bathroom #3

Location

Main half

Overview Photos of Bathroom



Toilet

Low Rise Tank

Condition: Satisfactory

Sink(s)

Single Vanity

Condition: Satisfactory

Floor

Vinyl

Condition: Satisfactory

Ventilation Type

Ventilator

Condition: Satisfactory

GFCI Protection

Outlets

Condition: Satisfactory

Kitchen

Overview Photo of Kitchen



Cabinets

Wood

Condition: Satisfactory

Countertops

Laminated

Condition: Marginal



Sink

Double

Condition: Satisfactory



Appliances

This is a cursory check only of the specified appliances. The accuracy or operation of timers, temperature or power level controls is beyond the scope of this inspection.

Oven

General Electric

Condition: Satisfactory



Range Hood

Not Present

Refrigerator

Not Present

Dishwasher

Amana

Condition: Satisfactory



Microwave

General Electric

Condition: Satisfactory

Comment 28
Informational

The vent fan in this microwave was installed to recirculate the air. In order to exhaust the air to the outside, the fan will have to be reinstalled to blow the other direction.

Disposal

American Standard

Condition: Satisfactory



Laundry

Built In Cabinets

No

Condition: Satisfactory

Laundry Sink

Not Present

Dryer Venting

To Exterior

Condition: Satisfactory

GFCI Protection

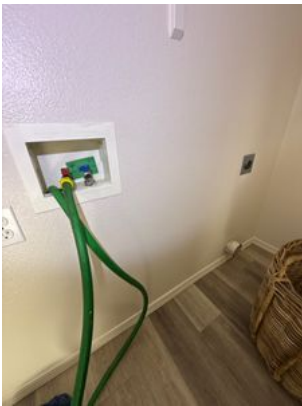
No

Condition: Satisfactory

Laundry Hook Ups

Yes

Condition: Satisfactory



Washer

Not Present

Dryer

Not Present

Overview Photos of Laundry



Interior

The interior inspection is limited to readily accessible areas that are not concealed by furnishings or stored items. A representative number of windows and doors.

Overview Photos of Interior



Floors

Carpet, Vinyl

Condition: Satisfactory

Walls

Textured Over Drywall

Condition: Satisfactory

Window Types

Sliders, Fixed

Condition: Satisfactory

Window Materials

Vinyl

Entry Door Types

Sliding, Hinged

Condition: Satisfactory

Entry Door Materials

Wood, Vinyl, Fiberglass

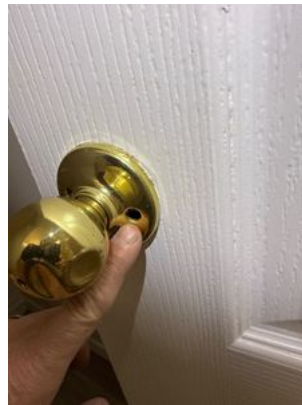
Interior Door Materials

Wood

Comment 29

Recommended

This bathroom door latch did not lineup with strike plate at the time of inspection. Repairing this and securing the hardware on the identified doors is recommended.



Fireplace

Not Present

Lawn Sprinkler

Water Supply

Canal



Motor/Pump

Community

Condition: Satisfactory

Valves

Mechanical





Timer

Electric Clock



Visible Piping

PVC, Poly

Electrical Connections

Conduit

Condition: Satisfactory



DEFINITION OF CONDITION TERMS

SATISFACTORY: At the time of inspection the component is functional without observed signs of a substantial defect.

MARGINAL: At the time of inspection the component is functioning but is estimated to be nearing end of useful life. Operational maintenance recommended. Replacement anticipated.

REPAIR or REPLACE: At the time of inspection the component does not function as intended or presents a Safety Hazard. Repair or replacement is recommended.

FURTHER EVALUATION : The component requires further technical or invasive evaluation by qualified professional tradesman or service technician to determine the nature of any potential defect, the corrective action and any associated cost.