



Home Inspection Report

Kuna, ID 83634

Prepared For:

Inspected On Tue, Oct 4, 2022 at 1:00 PM

Upright Home Inspection
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UprightInspections.com

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Thank you for the opportunity to conduct a home inspection of the property listed above. We understand that the function of this report is to assist you in understanding the condition of the property to assist in making an informed purchase decision.

The report contains a review of components in the following basic categories: site, exterior, roofing, structure, electrical, HVAC, plumbing, and interior. Additional categories may or may not be included. The report is designed to be easy to read and comprehend however it is important to read the entire report to obtain a full understanding of the scope, limitations and exclusions of the inspection.

In addition to the checklist items of the report there are several comments which are meant to help you further understand certain conditions observed. These are easy to find by looking for their icons along the left side margin. Comments with the blue icon are primarily informational and comments with the orange icon are also displayed on the summary. Please read them all.

DEFINITION OF CONDITION TERMS

Satisfactory: At the time of inspection the component is functional without observed signs of a substantial defect.

Marginal: At the time of inspection the component is functioning but is estimated to be nearing end of useful life. Operational maintenance recommended. Replacement anticipated.

Repair or Replace: At the time of inspection the component does not function as intended or presents a Safety Hazard. Repair or replacement is recommended.

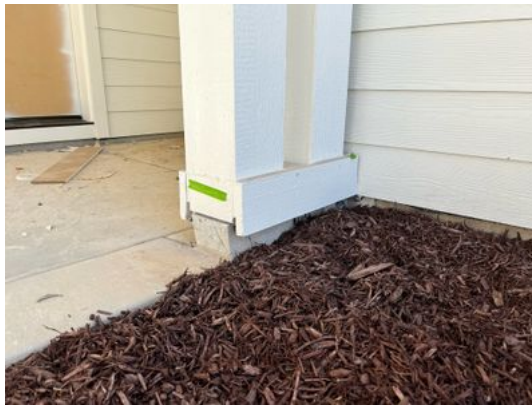
Further Evaluation: The component requires further technical or invasive evaluation by qualified professional tradesman or service technician to determine the nature of any potential defect, the corrective action and any associated cost.

This summary page is not the entire report. The complete report may include additional information of interest or concern to you. It is strongly recommended that you promptly read the complete report. For information regarding the negotiability of any item in this report under the real estate purchase contract, contact your real estate agent or an attorney.

Deficiency

Deficiency

Trim finishing, sealing joints and painting recommended throughout exterior and including posts at entrance stoop.



Deficiency

Many areas taped to identify their need to sealed and prepped for final weatherproof painting.

One board near entrance observed to have a chip in it. Replacement recommended.



Deficiency

It is recommended to seal sawn wood to prevent rapid deterioration from moisture at these identified trim pieces.



Deficiency

Window trim had gaps that should be filled with an appropriate sealant. Windows sills in the home exhibited moderate damage that appeared to be from moisture intrusion. Sealant around the window exteriors should be re-applied as necessary to avoid continuing damage. All work should be performed by a qualified contractor.



Deficiency

Conventional garage entry door missing weatherstripping. Damage to frame observed. Repairs recommended by qualified contractor.



Deficiency

The self-closing hinges on the conventional door between the garage and the home living space did not function at the time of inspection. Self-closing hinges are a safety feature designed to help prevent the spread of fire and toxic fumes from the garage to the living space. Correction recommended.



Deficiency

Gutters were not installed at the time of inspection. A gutter system is recommended. The Inspector recommends the installation of downspout extensions to discharge roof drainage a minimum of 6 feet from the foundation.



Deficiency

Cracking visible at the foundation wall appeared typical of differential settlement. Differential settlement happens when one portion of the foundation settles at a rate different from adjacent portions of the foundation. Stresses are created at the point of changing support that are relieved by cracking. Settlement typically takes place in the first few years after original construction, and then stops. Cracks exceeding 1/16-inch in width should be filled with an appropriate material to prevent future damage from freezing moisture and monitored in the future for continued activity. A qualified foundation contractor is recommended to evaluate and seal these cracks.



Deficiency

The floor of the crawlspace was covered with a vapor barrier cover that consisted of sheet plastic. Soil covers are installed to help minimize moisture evaporation into crawlspace air from the soil. Edges at overlaps and the crawlspace perimeter were not sealed. It is recommended to repair this condition and replace barrier as needed.



Deficiency

Air flow was minimal in laundry room. Further evaluation recommended by a qualified HVAC contractor.



Deficiency

The A/C line set was resting upon a waste or drain pipe at the time of inspection. This condition may damage the pipe or loosen the connections. The inspector recommends correction by a qualified plumbing contractor.



Photo of Each Side of Home



Property Type

Single Family

Stories

One

Year Built

2022

Bedrooms/Baths

4/2.5

Door Faces

South

Furnished

No

Occupied

No

Weather

Sunny

Temperature

Warm

Soil Condition

Dry

Utilities On During Inspection

Electric Service, Gas Service, Water Service

People Present

Contractors

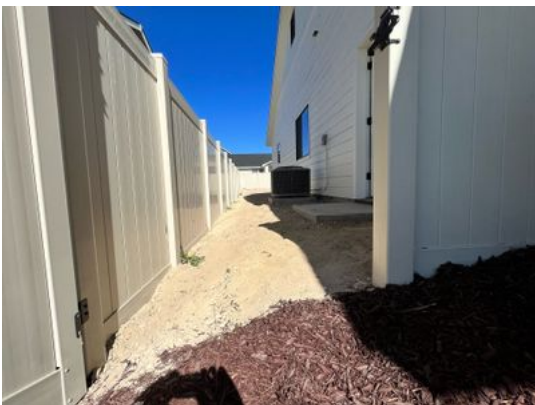
Site

The condition of the vegetation, grading, surface drainage and retaining walls that are likely to adversely affect the building is inspected visually as well as adjacent walkways, patios and driveways.

Site Grading

Sloped Away From Structure

Condition: Satisfactory



Vegetation

Not Growing Against Structure

Condition: Satisfactory

Retaining Walls

Not Present

Driveway

Concrete

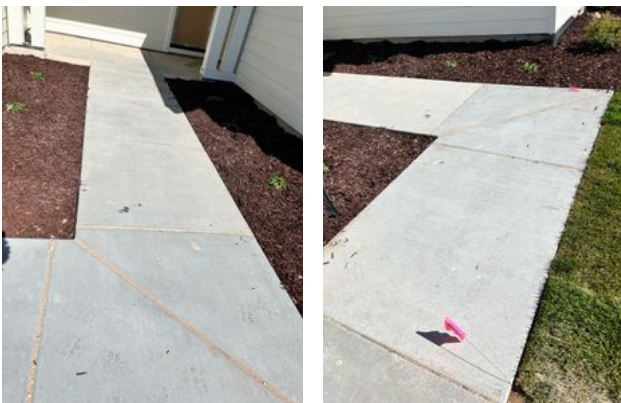
Condition: Satisfactory



Walkways

Concrete

Condition: Satisfactory



Steps/Stoops

Concrete

Condition: Satisfactory



Comment 1

Deficiency

Trim finishing, sealing joints and painting recommended throughout exterior and including posts at entrance stoop.



Patios/Decks

Concrete

Condition: Satisfactory



Exterior

The visible condition of exterior coverings, trim and entrances are inspected with respect to their effect on the condition of the building.

Exterior Covering

Stone, Hardi Board

Condition: Repair or Replace

Comment 2

Deficiency

Many areas taped to identify their need to be sealed and prepped for final weatherproof painting.

One board near entrance observed to have a chip in it. Replacement recommended.



Exterior Trim Material

Wood

Condition: Satisfactory

Comment 3

Deficiency

It is recommended to seal sawn wood to prevent rapid deterioration from moisture at these identified trim pieces.



Windows

Vinyl

Condition: Repair or Replace

Comment 4
Deficiency

Window trim had gaps that should be filled with an appropriate sealant. Windows sills in the home exhibited moderate damage that appeared to be from moisture intrusion. Sealant around the window exteriors should be re-applied as necessary to avoid continuing damage. All work should be performed by a qualified contractor.



Entry Doors

Fiberglass

Condition: Repair or Replace

Comment 5
Deficiency

Conventional garage entry door missing weatherstripping. Damage to frame observed. Repairs recommended by qualified contractor.

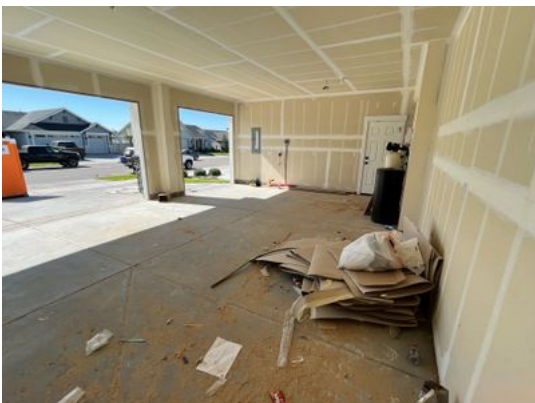


Garage

Garage Type

Attached

Condition: Satisfactory



Comment 6

Deficiency

The self-closing hinges on the conventional door between the garage and the home living space did not function at the time of inspection. Self-closing hinges are a safety feature designed to help prevent the spread of fire and toxic fumes from the garage to the living space. Correction recommended.



Garage Size

3 Car

Door Opener

Not Present

Comment 7

Information

The overhead doors were not installed at the time of inspection.



Opener Safety Feature

Not Present

Structure

Wall Structure

Wood Framed

Condition: Satisfactory

Ceiling Structure

Truss

Condition: Satisfactory



Roof Structure

Truss

Condition: Satisfactory

Roof Sheathing

OSB

Condition: Satisfactory

Roofing

The visible condition of the roof covering, flashings, skylights, chimneys and roof penetrations are inspected. The purpose of the inspection is to determine general condition, NOT to determine life expectancy.

Inspection Method

Walked Roof/Arms Length

Photo of Each Slope



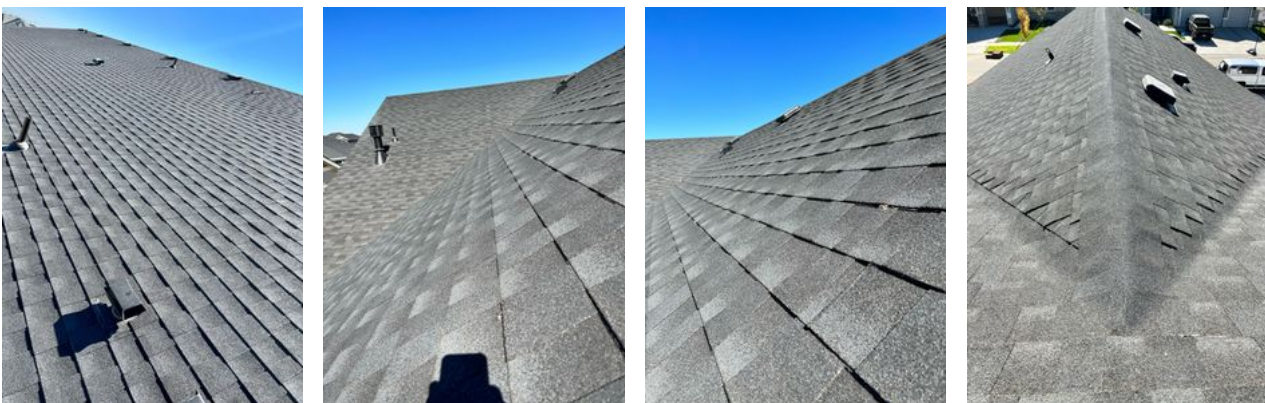
Roof Design

Gable

Roof Covering

Dimensional Shingles

Condition: Satisfactory



**Comment 8
Information**

Two fall protection anchors were not covered at time of inspection. Replacing the plastic covers is recommended.



Approximate Roof Age

New

Remaining Useful Life

40

Ventilation Present

Roof, Soffit, Gable Ends

Condition: Satisfactory





Vent Stacks

Plastic

Condition: Satisfactory

Chimney

Not Present

Sky Lights

Not Present

Flashings

Metal

Condition: Satisfactory



Soffit and Fascia

Wood

Condition: Satisfactory

Gutters & Downspouts

Not Present

Comment 9

Deficiency

Gutters were not installed at the time of inspection. A gutter system is recommended. The Inspector recommends the installation of downspout extensions to discharge roof drainage a minimum of 6 feet from the foundation.



Overall Condition

Satisfactory

Visible Signs Of Leaks

None

Roofing Comments

Comment 10

Information

The insulation and ventilation of the home was inspected and reported on. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Venting of exhaust fans or clothes dryer cannot be fully inspected and bends or obstructions can occur without being accessible or visible (behind wall and ceiling coverings).

Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

The visible condition of the structural components is inspected. The determination of adequacy of structural components is beyond the scope of a home inspection.

Foundation Types

Crawl Space

Foundation Material

Poured Concrete

Condition: Repair or Replace



Comment 11 Deficiency

Cracking visible at the foundation wall appeared typical of differential settlement. Differential settlement happens when one portion of the foundation settles at a rate different from adjacent portions of the foundation. Stresses are

created at the point of changing support that are relieved by cracking. Settlement typically takes place in the first few years after original construction, and then stops. Cracks exceeding 1/16-inch in width should be filled with an appropriate material to prevent future damage from freezing moisture and monitored in the future for continued activity. A qualified foundation contractor is recommended to evaluate and seal these cracks.



Signs of Water Penetration

Not Present

Prior Waterproofing

Not Present

Floor Structure

Engineered I-Joist

Condition: Satisfactory





Subflooring

Oriented Strand Board
Condition: Satisfactory

Wall Structure

Wood Frame
Condition: Satisfactory

Attic

Attic Entry

Garage

Roof Framing Type

Wood Trusses
Condition: Satisfactory





Roof Deck Material

Oriented Strand Board

Condition: Satisfactory



Vent Risers

PVC

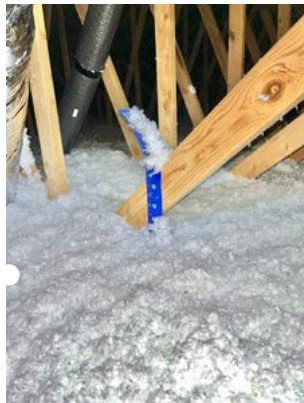
Condition: Satisfactory



Insulation

Blown In Fiberglass

Condition: Satisfactory





Attic Comments

Comment 12 **Information**

Inspection of the attic was limited and not all areas were visible due to insulation, HVAC ducts and roof framing. Attics may contain potential fire or health hazards, other safety issues, damage, or defects that have the potential to cause damage to the home. The inspector disclaims any responsibility of attic conditions that were not visible due to limited or no visibility.

Crawlspace

Inspection of the crawlspace typically includes visual examination of the following:

- excavation; - foundation; - floor; - framing;
- plumbing; - electrical; - HVAC; - insulation;
- pest (general evidence); - general condition.

If the clearance from the ground to the bottom of the joists is less than 36", or other adverse conditions exist, the inspector is not obligated to enter the crawl space.

Inspection Method

Inside

Vapor Retarder

Partial

Condition: Repair or Replace



Comment 13
Deficiency

The floor of the crawlspace was covered with a vapor barrier cover that consisted of sheet plastic. Soil covers are installed to help minimize moisture evaporation into crawlspace air from the soil. Edges at overlaps and the crawlspace perimeter were not sealed. It is recommended to repair this condition and replace barrier as needed.





Underfloor Insulation

Fiberglass Batts

Condition: Satisfactory



Ventilation Present

Yes

Condition: Satisfactory



Moisture Condition

Dry

Condition: Satisfactory

Electrical

The inspector can not inspect hidden wiring or verify if the number of outlets is per the National Electric Code. A representative number of outlets, switches and fixtures are tested for operation.

Type of Service

Underground



Main Disconnect Location

Service Panel



Service Panel Location

Garage

Photo Inside Electrical Panel



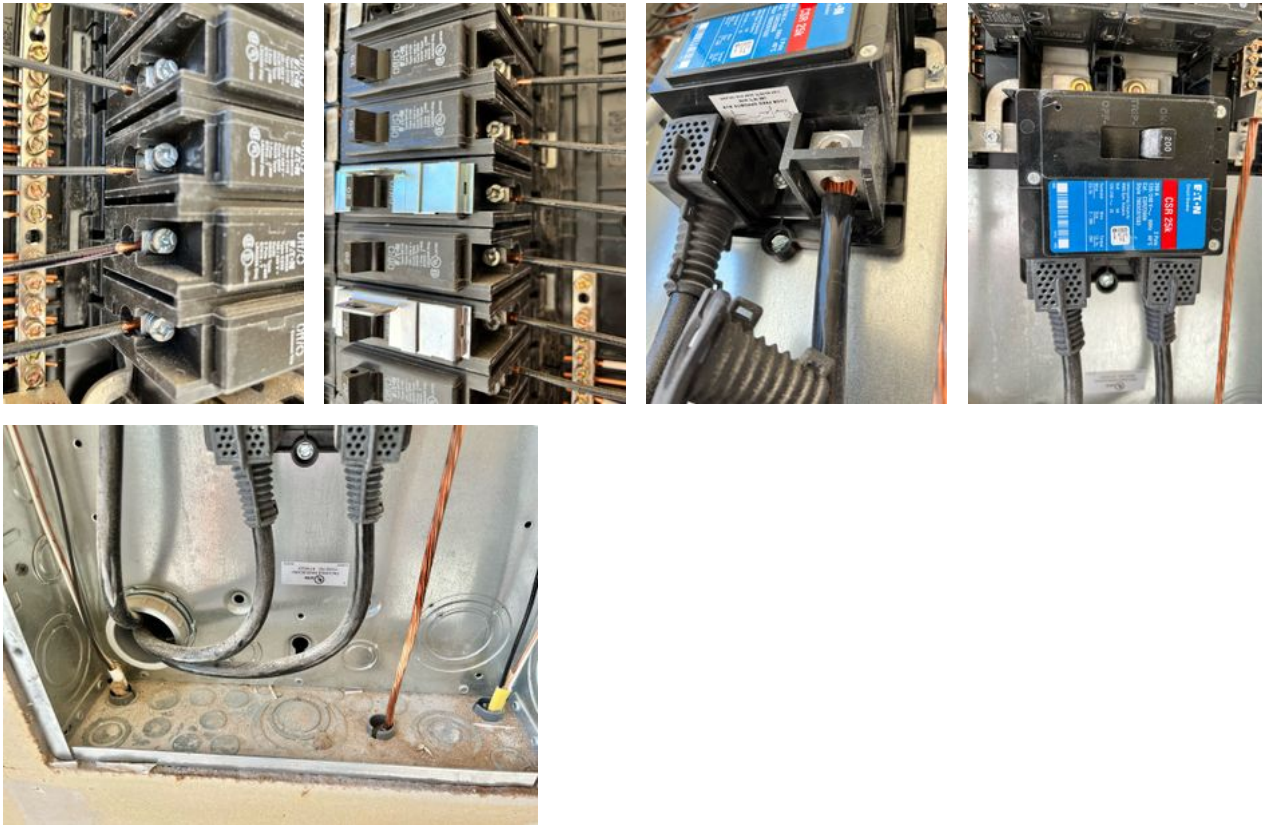


Photo Outside of Electrical Panel



Service Panel Manufacturer

Eaton

Condition: Satisfactory

Main Panel Type

Circuit breaker

Condition: Satisfactory

Service Line Material

Copper

Condition: Satisfactory



Service Voltage

240 volts

Service Amperage

200 amps

Amperage Sufficient for Current Usage

Yes

Service Panel Ground

Ground Rod



Branch Circuit Wiring

Non-Metallic Shielded Copper

Condition: Satisfactory

Overcurrent Protection

Breakers

Condition: Satisfactory

GFCI/AFCI Breakers

Yes

Condition: Satisfactory

Smoke Detectors

Hard Wired Interconnected

Condition: Satisfactory



Age of Electrical Panel

2022

General Condition of Electrical System

Satisfactory

HVAC System Type

Central Split System

Thermostat

Programmable

Condition: Satisfactory



Central AC

Yes

Central Heat

Yes

Photo of Equipment



HVAC in Good Working Order

Yes

Date of Last Service/Inspection

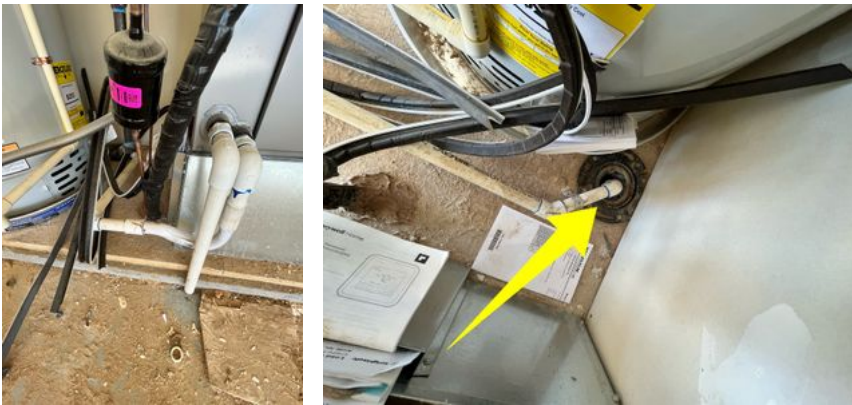
Unknown

Age of System

2022

Signs Of Condensate Drain Blockage

No



Heating

The heating system is inspected visually and operated by normal controls to determine general condition NOT life expectancy. The capacity or adequacy of the heating system is beyond the scope of a home inspection. A licensed HVAC contractor should be consulted if in question.

Location

Garage

Type of Equipment

Forced Air

Condition: Satisfactory

Manufacturer

Carrier



Heating Fuel

Gas

Condition: Satisfactory



Input BTUs

66,000

Output BTUs

64,000

Approximate Age

New

Filter Type

Disposable

Condition: Satisfactory



Type of Distribution

Flexible Ducting

Condition: Further Evaluation Required



Comment 14
Deficiency

Air flow was minimal in laundry room. Further evaluation recommended by a qualified HVAC contractor.



Furnaces over 10 years old should be checked, cleaned and serviced yearly by a licensed contractor.

Cooling

The cooling system is inspected by operation of the equipment by normal controls to determine general condition NOT life expectancy. The capacity or adequacy of cooling system is beyond the scope of a home inspection. A licensed HVAC contractor should be consulted if in question.

Energy Source

Electric

Type of Equipment

Split System

Condition: Satisfactory

Condenser Make

Carrier



Condenser Size

24,000 BTU (2 Tons)

Condenser Approximate Age

New

Expansion Coil Make

Carrier



Condensate Drainage

To Floor Drain

Condition: Satisfactory

Air conditioners over 10 years old and heat pumps over 5 years old should be checked, cleaned and serviced yearly by a licensed contractor.

Plumbing

The plumbing system is inspected visually and by operating a representative number of fixtures and drains. Private water and waste systems are beyond the scope of a home inspection.

Water Service

Public



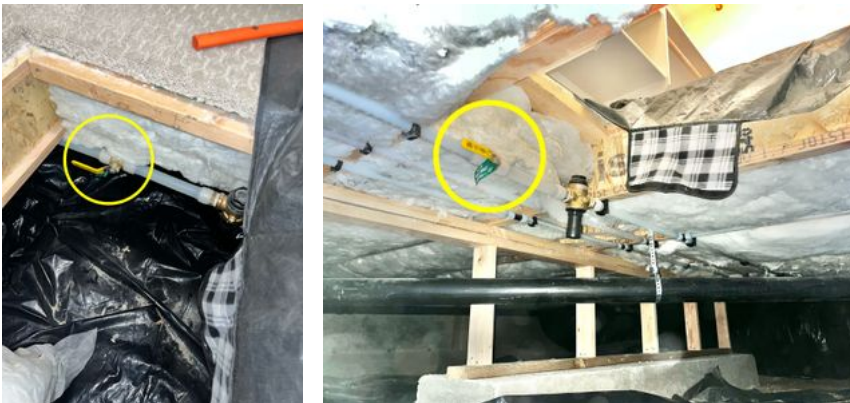
Supply Pipe Material

PEX

Condition: Satisfactory

Location of Main Water Shutoff

Crawlspace



Sewer System

Public



Waste Pipe Material

ABS Plastic

Condition: Satisfactory

Comment 15

Deficiency

The A/C line set was resting upon a waste or drain pipe at the time of inspection. This condition may damage the pipe or loosen the connections. The inspector recommends correction by a qualified plumbing contractor.



Sump Pump

Not Present

Location of Fuel Shutoff

At Meter

Indication of Prior Leak

Not Present

Indication of Active Leak

Not Present

Age of Piping

Original to home

Water Heater

Water Heater Location

Garage

Photo of Water Heater



Manufacturer

Bradford White

Fuel

Natural Gas

Capacity

50 gal

Approximate Age

2022

Temp & Pressure Relief Valve

Present With Blow Off Leg

Condition: Satisfactory

Fuel Disconnect

Within Sight of Equipment



Water Softener

Manufacturer

Sentry



Approximate Age

Bathroom #1

Location

Owner's

Bath Tub

Recessed

Condition: Satisfactory



Comment 16 Information

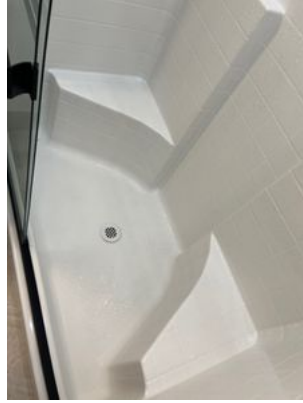
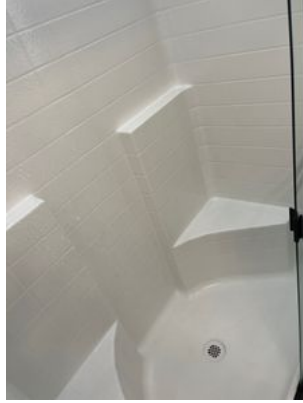
Cleaning install sticker recommended.



Shower

Stall

Condition: Satisfactory



Sink(s)

Single Vanity

Condition: Satisfactory



Toilet

Standard Tank

Condition: Satisfactory



Bidet

Not Present

Shower Walls

One piece plastic

Condition: Satisfactory

Tub Surround

Vinyl

Condition: Satisfactory



Floor

Vinyl

Condition: Satisfactory



Ventilation Type

Ventilator, Window

Condition: Satisfactory

GFCI Protection

Outlets

Condition: Satisfactory

Bathroom #2

Location

Half

Sink(s)

Pedestal

Condition: Satisfactory



Toilet

Standard Tank

Condition: Satisfactory



Floor

Vinyl

Condition: Satisfactory



Ventilation Type

Ventilator

Condition: Satisfactory

GFCI Protection

Outlets

Condition: Satisfactory

Bathroom #3

Location

Hallway

Bath Tub

Recessed

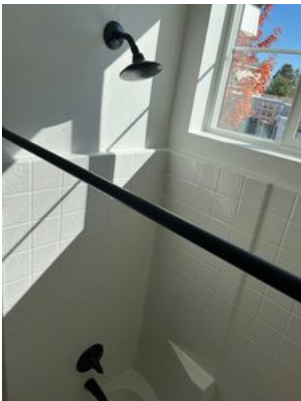
Condition: Satisfactory



Shower

In Tub

Condition: Satisfactory



Sink(s)

Single Vanity

Condition: Satisfactory



Toilet

Standard Tank

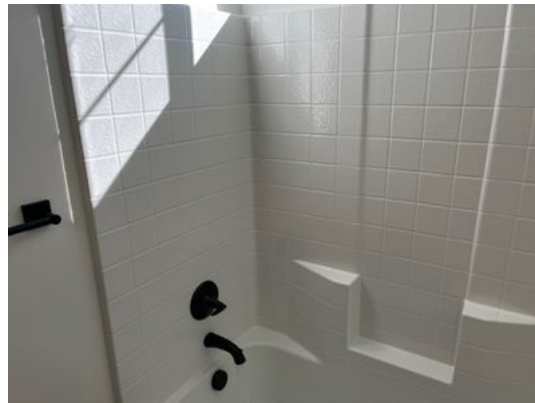
Condition: Satisfactory



Shower Walls

One piece plastic

Condition: Satisfactory



Tub Surround

One piece plastic

Condition: Satisfactory

Floor

Vinyl

Condition: Satisfactory



Ventilation Type

Ventilator, Window

Condition: Satisfactory

GFCI Protection

Outlets

Condition: Satisfactory

Kitchen

Cabinets

Wood

Condition: Satisfactory

Countertops

Granite

Condition: Satisfactory



Sink

Single

Condition: Satisfactory

Appliances

This is a cursory check only of the specified appliances. The accuracy or operation of timers, temperature or power level controls is beyond the scope of this inspection.

Kitchen Cont.

Oven

Whirlpool

Condition: Satisfactory



Cooktop

Whirlpool

Condition: Satisfactory



Range Hood

Whirlpool

Condition: Repair or Replace



**Comment 17
Information**

No power to unit at time of inspection

Dishwasher

Whirlpool

Condition: Satisfactory



Microwave

Whirlpool

Condition: Satisfactory



Disposal

Condition: Satisfactory

Laundry

Built In Cabinets

No

Condition: Satisfactory



Laundry Sink

No

Condition: Satisfactory

Dryer Venting

To Exterior

Condition: Satisfactory

GFCI Protection

Yes

Condition: Satisfactory



Laundry Hook Ups

Yes

Condition: Satisfactory



The interior inspection is limited to readily accessible areas that are not concealed by furnishings or stored items. A representative number of windows and doors.

Floors

LVP

Condition: Satisfactory

**Comment 18
Information**

Tape on floor observed at time of inspection. Removal needed.



Walls

Textured Over Drywall

Condition: Further Evaluation Required

Comment 19
Information

Marks for correction are throughout the home to have contractors follow up with.





Window Types

Sliders

Condition: Satisfactory

**Comment 20
Information**

Correction needed for sliding window.ON SITE REPAIRED PRIOR TO END OF INSPECTION



Window Materials

Vinyl

Entry Door Types

Sliding, Hinged

Entry Door Materials

Not Inspected

Comment 21
Information

Temporary door installed at entrance.



Interior Door Materials

Wood